

SPENCE WILLARD



6 Solent Lawns, Gurnard, Isle of Wight

A superbly spacious, contemporary home within close proximity of the seafront and with views over towards the Hampshire Coast

VIEWING:

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Set in a select development within 200 metres of the seafront, the property benefits from particularly spacious accommodation with Solent views to the front whilst backing onto mature woodland to the rear. Built in 2012 and subsequently extended in around 2017, the house provides high quality accommodation arranged over three floors and provides up to five bedrooms. The property has particularly spacious reception rooms and high-quality fittings. To the rear is a superb low maintenance garden with an outdoor kitchen backing onto mature woodland that is co-owned with the other residents of Solent Lawns which forms an idyllic backdrop.

There is easy access to the seafront, beach and Gurnard Sailing Club as well as the popular Woodvale pub with its garden, from which the stunning sunsets can be enjoyed. The village shop, café and further pub are a short walk away. The internationally renowned sailing centre of Cowes can be accessed along the seafront with its wide range of shops, restaurants, sailing facilities and frequent passenger ferries to Southampton with its onward train connections to London.

ACCOMMODATION

GROUND FLOOR

ENTRANCE HALL Oak flooring and oak staircase leading to First Floor with understairs coat cupboard.

BEDROOM 4 A double bedroom with Solent glimpses and slatted shutters.

SHOWER ROOM Large walk-in shower, washbasin, WC and heated towel rail.

BEDROOM 2 A double bedroom with built-in cupboards.

BATHROOM EN-SUITE Bath with shower over, washbasin, WC and heated towel rail.





UTILITY ROOM Base and wall cupboards, worksurfaces, sink unit and space for washing machine and tumble dryer. Large cupboard housing direct hot water cylinder.

INTEGRAL GARAGE/STORE Electrically operated up and over door and with high ceiling, providing superb storage and including shelving and hanging rails. Pedestrian doors to side elevation and hallway.

FIRST FLOOR

Accessed via a superb, curved staircase leading to a **LANDING** in the centre of the house with sliding doors leading to both the **SITTING ROOM** and **KITCHEN/LIVING ROOM**.

CLOAKROOM Washbasin and WC.

SITTING ROOM A really spacious, well-proportioned reception room with bi fold doors across the front elevation providing views over The Solent towards the Hampshire coast and adjacent **BALCONY** with glass balustrades from which the views can be enjoyed. Oak Flooring, built-in cupboards, display shelving and a wood burning stove set on slate hearth.

KITCHEN/LIVING ROOM A superb open plan space incorporating a well fitted kitchen along with seating and dining areas with a series of sliding glazed doors opening to the rear garden with a backdrop of mature woodland. The kitchen area comprises an extensive range of built-in cupboards with a large island unit. There is a comprehensive range of integral appliances including a BOSCH double oven and steam oven/ plate warmer, NEFF five-ring hob with adjacent NEFF Teppan Yaki griddle with extractor over. Twin dishwashers, space for American-style fridge-freezer and wine cooler. There are two sinks, and the kitchen island incorporates a breakfast bar. The dining area has adjacent book shelving and the generous seating area overlooking the woodland has a wood burning stove. A large roof light provides additional natural light in this south facing room whilst the Travertine flooring has underfloor heating throughout. Walk-in **LARDER** with extensive shelving.

SECOND FLOOR

LANDING

BEDROOM 1 A particularly spacious double bedroom with a vaulted ceiling and sliding glazed doors opening to a Juliette balcony providing views towards the Hampshire coast. A good range of built-in cupboards and dressing table.

SHOWER ROOM Large walk-in shower, washbasin, WC and heated towel rail.





DRESSING ROOM Well fitted with solid oak drawers, shelving and hanging rails.

BEDROOM 3 A double bedroom with southerly outlook over the adjoining woodland and built-in cupboards.

STUDY/BEDROOM 5 Built-in shelving and outlook to the adjoining woodland.

SHOWER ROOM Shower, washbasin and WC.

OUTSIDE

To the front of the property is a block paved driveway with parking for at least three cars. Gated paths lead around either side of the house. To the rear of the property at ground floor level is a large open-sided covered area (under the extension) with concrete floor, power

and lighting. To the western side of the house is an area suitable for storage of kayaks and paddleboards with adjacent outdoor shower. At First Floor level there is a large south facing decked **TERRACE** bordering the adjacent mature woodland which forms an attractive backdrop with a wide array of wildlife. This forms a really attractive outdoor seating and dining space with steps down to an **OUTDOOR KITCHEN** featuring stainless steel sink, worksurfaces and BBQ under an awning.

SERVICES Mains water, electricity and drainage. Airsource heat pump serves underfloor heating.

TENURE Freehold. Shared ownership of adjacent woodland. There is a service charge of £460 per annum payable for maintenance of the roadway, pavement and communal lawns as well as a sinking fund.

There is a contribution of £250 per annum towards management of the woodland.

COUNCIL TAX Band G

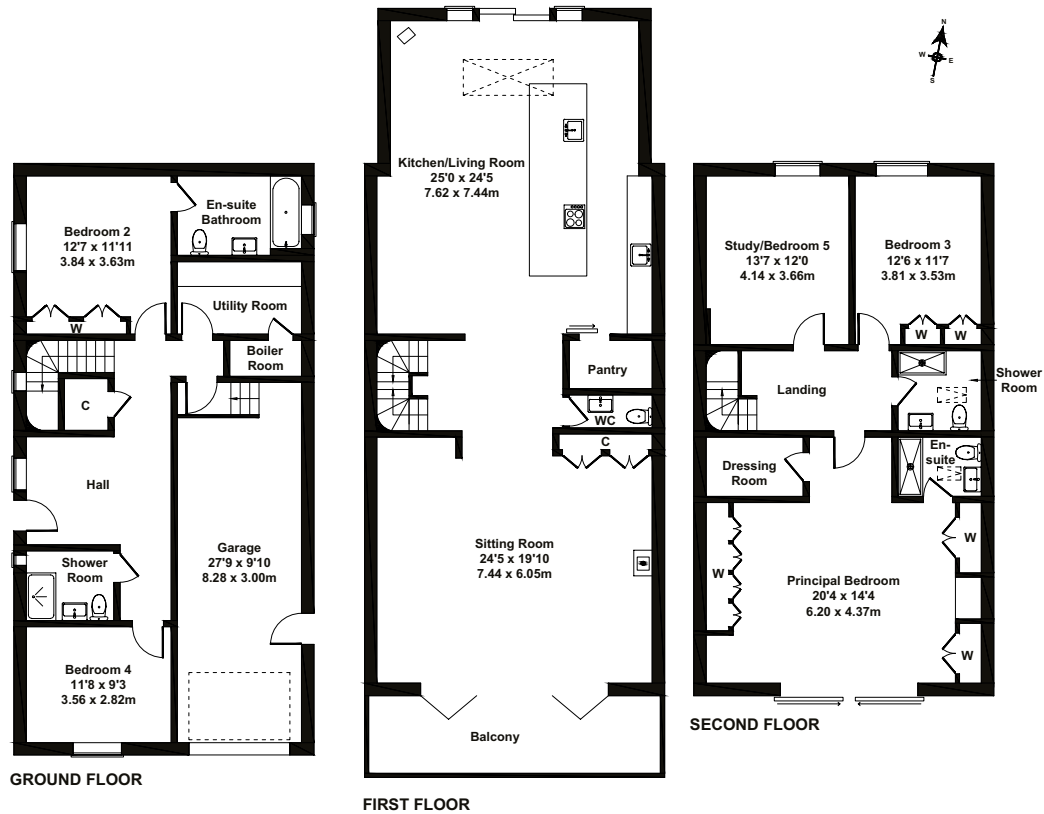
EPC Rating C

POSTCODE PO31 8AX

VIEWINGS Strictly by prior arrangement with the selling agents, Spence Willard.

6 Solent Lawns

Approximate Gross Internal Area
3074 sq ft - 286 sq m



SKETCH PLAN FOR ILLUSTRATIVE PURPOSES ONLY
All measurements walls, doors, windows, fittings and appliances, their sizes and locations, are approximate only. They cannot be regarded as being a representation by the seller, nor their agent.
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